



smarthomes

Gracemere Crescent

Hall Green, Birmingham, B28 0UB

- A Well Presented & Extended End Terrace Property
- Three Bedrooms
- Extended Dining Kitchen
- Rear Garden With Bar Area & Home Office

£270,000

EPC Rating 65

Current Council Tax Band B





Property Description

The property is set back from the road behind a block paved driveway providing off road parking with paved pathway extending to UPVC double glazed door leading into

Enclosed Porch

With double glazed windows, tiled flooring, lighting and wooden door with obscure glazed insert leading through to

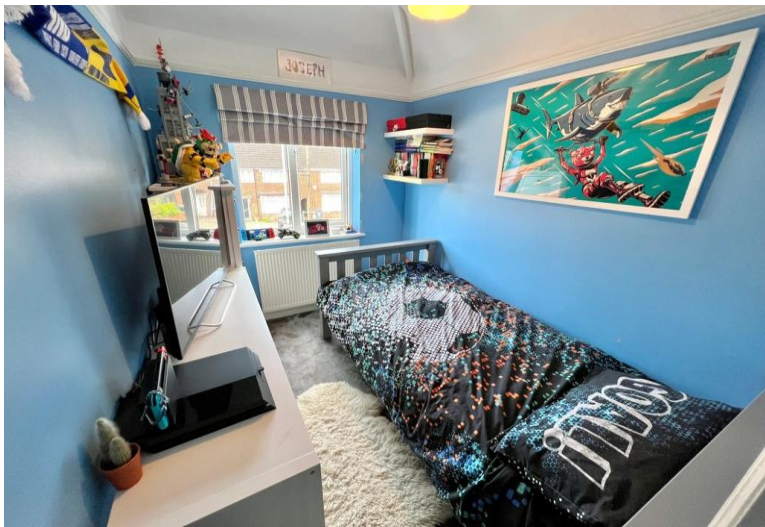
Entrance Hallway

With ceiling light point, radiator, hardwood flooring, stairs leading to the first floor accommodation and door leading through to



Lounge to Front

16' 4" into bay x 13' 1" (5.0m x 4.0m) With double glazed bay window to front elevation, radiator, hardwood flooring, ceiling light point, coving to ceiling, wall lighting, log burning stove with tiled hearth and oak mantle and door leading through to



Extended Dining Kitchen to Rear

17' 0" x 13' 1" (5.2m x 4.0m) Being fitted with a range of wall, drawer and base units incorporating glazed display cabinets and wine rack with complementary laminate work surfaces, sink and drainer unit with mixer tap, Metro tiling to splashback areas, space for cooker with extractor canopy over, breakfast bar seating area, integrated washing machine, dishwasher and fridge freezer, under-cupboard lighting, useful storage cupboard, radiator, ceiling light points, tiled flooring, feature vaulted ceiling with Velux window, double glazed window to rear, double glazed French doors leading out to the rear garden and door to



Guest WC

With low flush WC, wall mounted corner sink, double glazed window to side, ceiling light point, extractor and tiled flooring

Accommodation on the First Floor

Landing

With double glazed window to side, loft access, ceiling light point and doors leading off to

Bedroom One to Front

12' 1" x 8' 2" up to wardrobe (3.7m x 2.5m) With two double glazed windows to front elevation, radiator, ceiling spot lights and built-in wardrobes with sliding doors

Bedroom Two to Rear

9' 10" x 9' 6" (3.0m x 2.9m) With double glazed window to rear elevation, radiator, ceiling light point and built in cupboard





Bedroom Three to Front

8' 2" x 6' 2" (2.5m x 1.9m) With double glazed window to front elevation, picture rail, radiator and ceiling light point

Family Bathroom to Rear

6' 10" x 6' 2" (2.1m x 1.9m) Being fitted with a three piece white suite comprising; P-shaped panelled bath with thermostatic shower over and glazed screen, low flush WC and pedestal wash hand basin, obscure double glazed window to rear, tiling to water prone areas, tiled flooring, ladder style radiator and ceiling light point

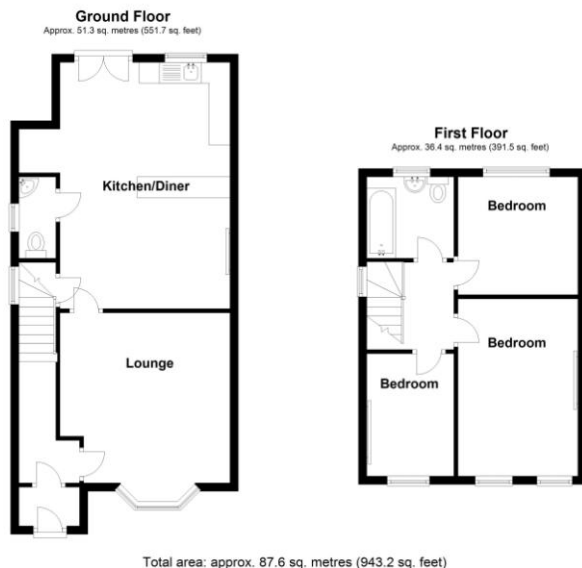


Rear Garden

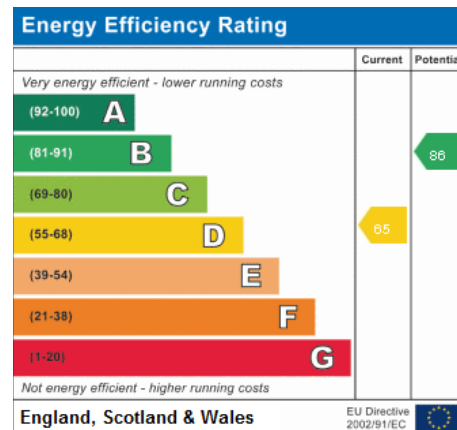
Being mainly laid to lawn with paved patio, side gate access, fencing and hedging to boundaries, stepping stone pathway to rear, shrub borders, decked terrace and bar area and steps to

Home Office

13' 5" x 10' 2" (4.1m x 3.1m) With storage cupboard, hot & cold air conditioning, ceiling downlighters, double glazed windows and laminate flooring



Tenure We are advised by the vendor that the property is freehold, but are awaiting confirmation from the vendor's solicitor. We would strongly advise all interested parties to obtain verification through their own solicitor or legal representative. EPC supplied by Nigel Hodges. Current council tax band – B.



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