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- A Beautifully Presented & Substantially Extended Semi-Detached Bungalow
- Four Good Size Bedrooms
- Luxury Family Bathroom & Shower Room
- Superb Open Plan Lounge/Kitchen/Diner

## Station Road, Wythall, Birmingham, B47 6ET

£530,000

A beautifully presented and substantially extended semi-detached bungalow situated in a sought after semi-rural location. Offering accommodation comprising a spacious open plan lounge/kitchen/diner, utility room, two ground floor double bedrooms, luxury five piece family bathroom, two spacious first floor bedrooms, dressing area, luxury first floor shower room, side garage, driveway parking and an extensive Southerly facing landscaped rear garden backing onto open fields. Council Tax Band – D. EPC Rating - TBC



## Property Description

Wythall and Hollywood are superb locations providing good transport links to Birmingham City Centre and the M42. Nearby railway stations include Wythall and Whitlocks End offering commuter services between Birmingham and Stratford-Upon-Avon. Local schooling includes Coppice Primary School, Meadow Green Primary School, Woodrush Senior School and Sixth Form Education facilities subject to confirmation from the Education Department. There is the added benefit of local shops at nearby Drakes Cross Parade, May Lane, Station Road and easy road access along the Alcester Road leading to the Maypole island with Sainsburys supermarket.

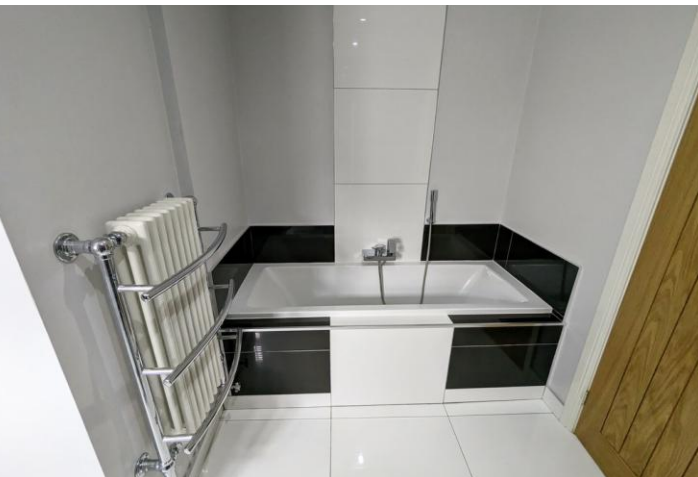


The property is set back from the road behind a pebbled driveway providing off road parking with a laid lawn area, planted shrub borders and a canopy porch with a UPVC double glazed door and matching side windows leading into



### Entrance Hallway

With ceiling spot lights, Oak wooden flooring, radiator, stairs leading to the first floor accommodation with a feature glass balustrade, under stairs storage cupboard and Oak glazed door leading off to



### Superb Open Plan Lounge/Kitchen/Diner

28' 5" x 16' 3" (8.66m x 4.95m) Being re-fitted with a range of wall, base and drawer units with a feature work surface over incorporating a 5 ring gas hob with extractor hood over. Central island with inset sink and shower tap, integrated dishwasher and integrated wine fridge. Integrated Neff double oven and integrated microwave, plinth lighting and ceiling spot lights. Part Oak flooring, feature radiator, open fireplace with Oak mantle over, UPVC double glazed windows to side elevations, full width double glazed sliding doors leading to the rear garden with electronically controlled blinds and Oak door to



### **Utility Room**

9' 10" x 4' 1" (3m x 1.24m) With a fitted base unit incorporating a ceramic 1 1/2 bowl sink and drainer unit with mixer tap. Space and plumbing for washing machine, UPVC double glazed door to side, UPVC double glazed windows to three sides, wall mounted gas central heating boiler, radiator, porcelain tiled flooring and a ceiling light point

### **Bedroom Three to Rear**

11' 10" x 9' 10" (3.61m x 3m) With a double glazed window to rear elevation, triple fitted wardrobe with mirror fronted sliding doors, radiator and ceiling light point

### **Dining Room/Bedroom Four to Front**

14' x 12' (4.27m x 3.66m) With a double glazed bay window to front elevation, radiator and ceiling light point

### **Luxury Re-Fitted Family Bathroom to Rear**

Being re-fitted with a modern white suite comprising of a bathtub with centralised taps and shower attachment, large separate walk in shower with wall mounted multi function shower, wall mounted wash hand basin, bidet and a low flush W.C. Feature illuminated mirror, feature radiator/heated towel rail, porcelain tiling to splash prone areas and floor with under floor heating, ceiling spot lights and an obscure double glazed window to the rear elevation

### **Landing**

With ceiling light point, radiator and doors leading off to

### **Dual Aspect Bedroom One**

16' 5" max x 12' 10" (5m max x 3.91m) With some restricted head height, double glazed dormer windows to front and rear elevations, two radiators and ceiling spot lights

### **Dressing Area**

With fitted hanging rails and cupboards, ceiling light point and door to

### **Bedroom Two to Rear**

20' 4" x 11' 4" (6.2m x 3.45m) With some restricted head height, a double glazed window to rear elevation, two radiators and ceiling light points

### **Luxury Shower Room to Side**

Being fitted with a modern white suite comprising of a shower enclosure with wall mounted multi function shower, wall mounted wash hand basin and a low flush W.C. Chrome heated towel rail, tiling to splash prone areas, Travertine style flooring with under floor heating, ceiling spot lights and a double glazed Velux roof window to side

### **Extensive Southerly Facing Rear Garden**

This delightful Southerly facing rear garden is mainly laid to lawn with an extensive porcelain slabbed patio area, manicured shaped borders with a variety of planted shrubs and bushes and panelled fencing to boundaries. There is a gate leading to open land to the rear of the property, a brick built storage room and a courtesy door leading to

## Garage

15' 7" x 5' (4.75m x 1.52m) With an electric roller shutter door to property frontage

## Tenure

We are advised by the vendor that the property is freehold, but are awaiting confirmation from the vendor's solicitor. We would strongly advise all interested parties to obtain verification through their own solicitor or legal representative. EPC supplied by Nigel Hodges. Current council tax band - D





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